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Upper Eastern Green Lane  
CV5 7DP



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A BEAUTIFUL SPACIOUS BUNGALOW  
POSITIONED ON A VERY GENEROUS PLOT  
WITH LOTS OF AVENUES TO EXTEND (STPC)

This lovely detached bungalow is conveniently positioned in the very sought-after location of Upper Eastern Green Lane, Eastern Green, which is close to good local schools, shops, public transport, Birmingham Airport and the motorway network.

The ground floor offers a storm porch and an entrance hallway to a fully fitted kitchen with integrated double oven with gas hob. The kitchen leads on to a good-size 22ft L-shaped lounge / dining area.

Walking through the property you will be greeted by three double bedrooms, all with built-in wardrobes. There is also a family bathroom and a good size utility area with plumbing for a washing machine and dishwasher and access to a very good-size brick-built double garage.

Outside to the front of the property is a block paved driveway providing parking for several vehicles with a further drive and side access leading you to the rear garden, which is fully enclosed and much larger than average.















## Dimensions

### GROUND FLOOR

Storm Porch

Hallway

Lounge/Diner

5.59m x 6.81m

Bedroom One

2.44m x 3.63m

Bedroom Two

3.99m x 3.63m

Bedroom Three

2.84m x 3.07m

Kitchen

2.79m x 3.07m

Bathroom

2.31m x 1.27m

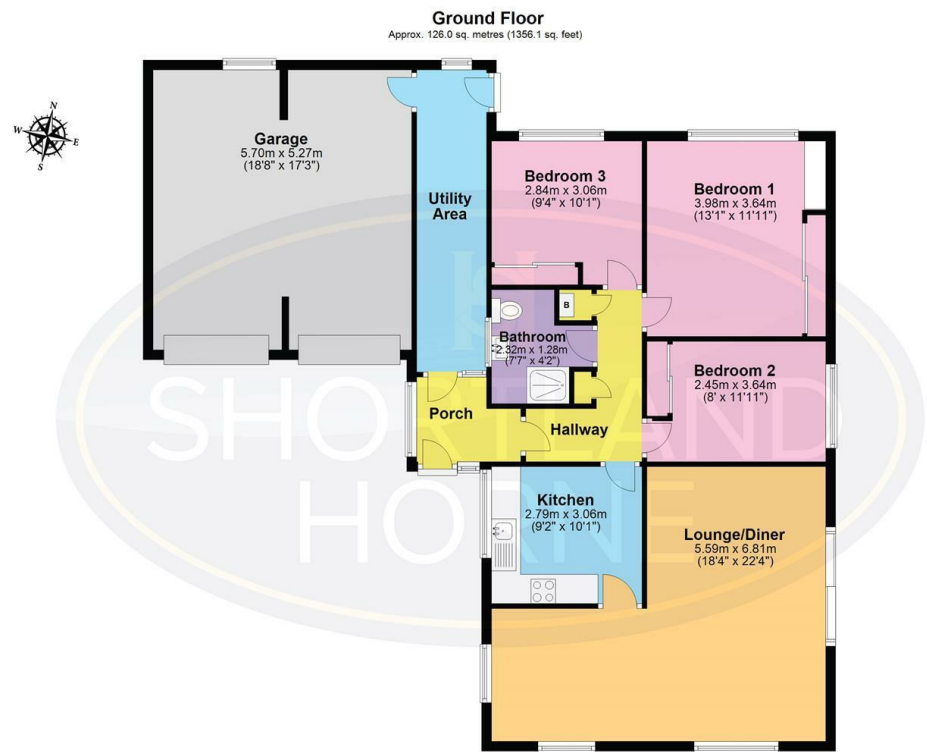
Utility Area

Garage

5.69m x 5.26m



# Floor Plan



Total area: approx. 126.0 sq. metres (1356.1 sq. feet)

DISCLAIMER - Floor plans shown are for general guidance only. Whilst every attempt has been made to ensure that the floorplan measurements are as accurate as possible, they are for illustrative purposes only.

Total area: 1356.10 sq ft

### Disclaimer

**Services** All main services are understood to be available. Prospective purchasers are however recommended to verify connection with the appropriate suppliers.

**Fixtures and Fittings** Excluded unless referred to in the sale particulars. Photographs are for illustrative layout purposes only and items shown are not included unless specifically mentioned in contract documentation. Please note: wide angle lens photography may be used, in certain instances, sometimes resulting in slight distortion.

**Viewing** Strictly by arrangement through Shortland Horne.

**Measurements** Room measurements and floor plans are for guidance purposes only and are approximate.

**Purchase Procedure** It is essential to contact our offices before applying for a mortgage or arranging for a survey on this or any other Shortland Horne property to confirm current availability.

**Money Laundering** We have in place procedures and controls, which are designed to forestall and prevent Money Laundering. If we suspect that a supplier, customer/client, or

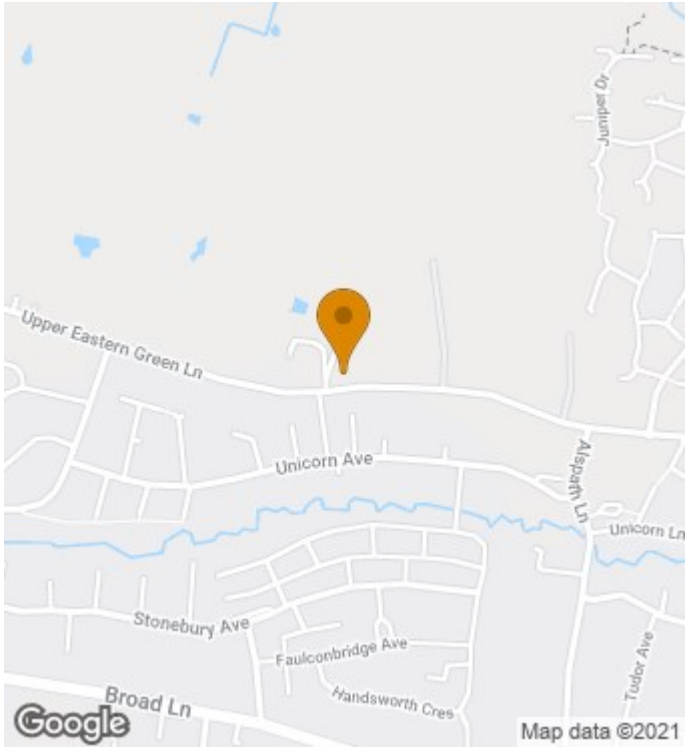
employee is committing a Money Laundering offence as defined by the Proceeds of Crime Act 2002, we will in accordance with our legal responsibilities disclose the suspicion to the National Criminal Intelligence Service. Intending purchasers will be asked to produce identification documentation at a later stage and we would ask for your co-operation in order that there will be no delay in agreeing the sale.

**Appliances** We would ask that you note that the property may contain appliances that would warrant checking for satisfactory working condition and you may wish to arrange this at your own expense prior to legal commitment.

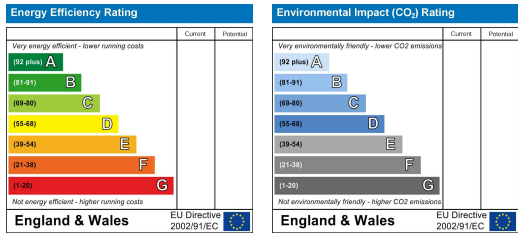
**Referrals** If Shortland Horne have introduced you to a Solicitor, Mortgage Advisor or Surveyor with whom we have a business relationship we are required by the Code of Conduct published by the NAEA propertymark to notify you that we will receive a referral fee. The fee for these services will vary depending on the transaction and intermediary may make to attract business.

Shortland Horne's Mortgage Advisor is Midland Financial Planning Limited, a partner practices of St. James's Place. For referring business to Midland Financial Planning Limited Shortland Horne will receive up to 50% of any commissions earned. You do not have to use the service of any of our providers and can choose to source the service from someone else. Any advice that is provided will be independent.

# Location Map



# EPC



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