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SH
SHORTLAND
HORNE

Upper Eastern Green Lane
CV5 7DP

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A BEAUTIFUL SPACIOUS BUNGALOW POSITIONED ON A VERY GENEROUS PLOT WITH LOTS OF AVENUES TO EXTEND (STPC)

This lovely detached bungalow is conveniently positioned in the very sought-after location of Upper Eastern Green Lane, Eastern Green, which is close to good local schools, shops, public transport, Birmingham Airport and the motorway network.

The ground floor offers a storm porch and an entrance hallway to a fully fitted kitchen with integrated double oven with gas hob. The kitchen leads on to a good-size 22ft L-shaped lounge / dining area.

Walking through the property you will be greeted by three double bedrooms, all with built-in wardrobes. There is also a family bathroom and a good size utility area with plumbing for a washing machine and dishwasher and access to a very good-size brick-built double garage.

Outside to the front of the property is a block paved driveway providing parking for several vehicles with a further drive and side access leading you to the rear garden, which is fully enclosed and much larger than average.

Selling quality
property since 1995









Dimensions

GROUND FLOOR

Storm Porch

Hallway

Lounge/Diner

5.59m x 6.81m

Bedroom One

2.44m x 3.63m

Bedroom Two

3.99m x 3.63m

Bedroom Three

2.84m x 3.07m

Kitchen

2.79m x 3.07m

Bathroom

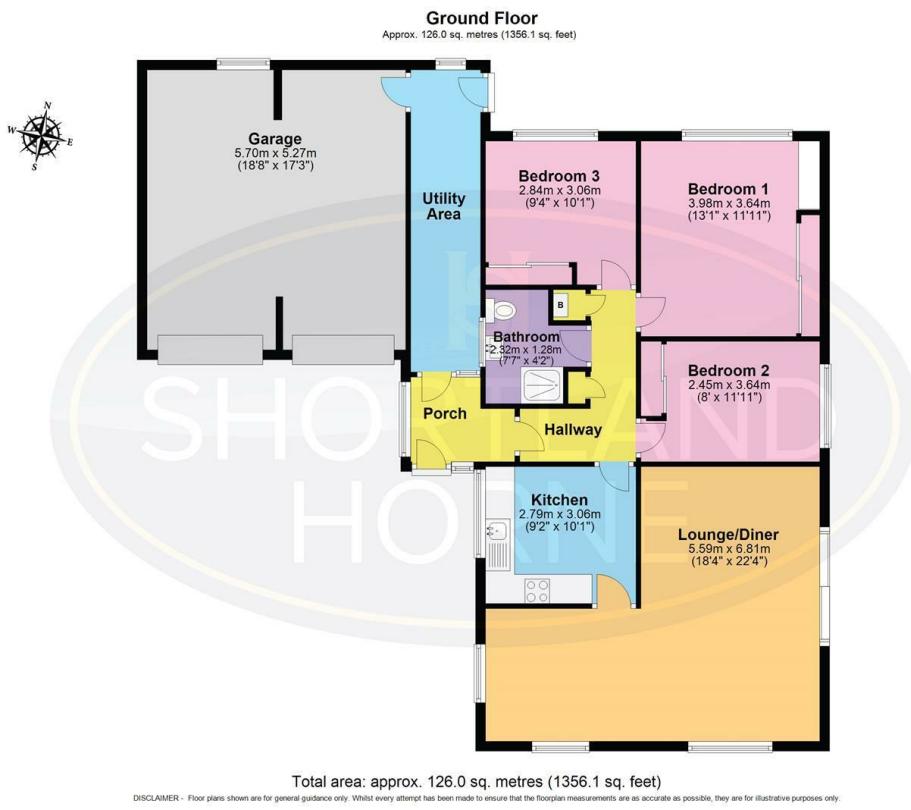
2.31m x 1.27m

Utility Area

Garage

5.69m x 5.26m

Floor Plan



Total area: 1356.10 sq ft

Disclaimer

Services All main services are understood to be available. Prospective purchasers are however recommended to verify connection with the appropriate suppliers.

Fixtures and Fittings Excluded unless referred to in the sale particulars. Photographs are for illustrative layout purposes only and items shown are not included unless specifically mentioned in contract documentation. Please note: wide angle lens photography may be used, in certain instances, sometimes resulting in slight distortion.

Viewing Strictly by arrangement through Shortland Horne.

Measurements Room measurements and floor plans are for guidance purposes only and are approximate.

Purchase Procedure It is essential to contact our offices before applying for a mortgage or arranging for a survey on this or any other Shortland Horne property to confirm current availability.

Money Laundering We have in place procedures and controls, which are designed to forestall and prevent Money Laundering. If we suspect that a supplier, customer/client, or

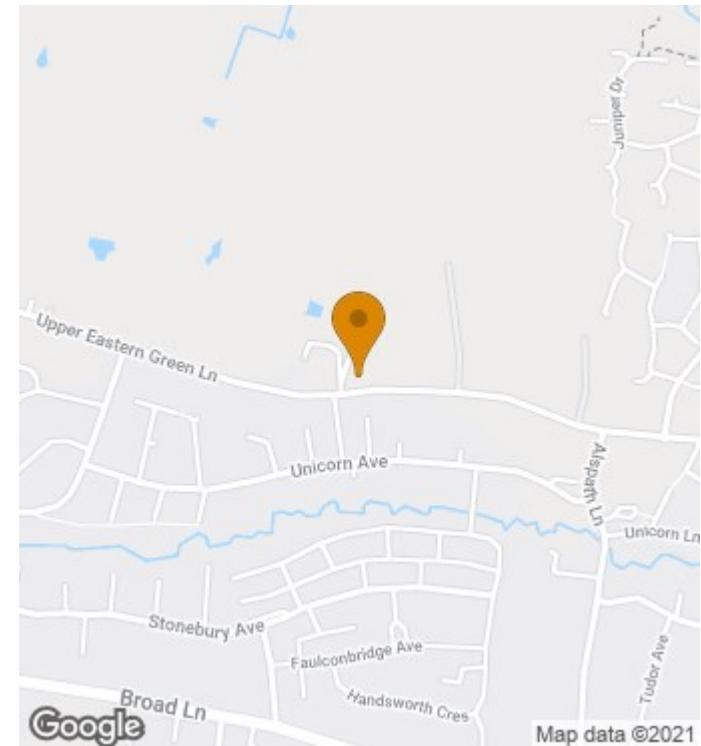
employee is committing a Money Laundering offence as defined by the Proceeds of Crime Act 2002, we will in accordance with our legal responsibilities disclose the suspicion to the National Crime Intelligence Service. Intending purchasers will be asked to produce identification documentation at a later stage and we would ask for your co-operation in order that there will be no delay in agreeing the sale.

Appliances We would ask that you note that the property may contain appliances that would warrant checking for satisfactory working condition and you may wish to arrange this at your own expense prior to legal commitment.

Referrals If Shortland Horne have introduced you to a Solicitor, Mortgage Advisor or Surveyor with whom we have a business relationship we are required by the Code of Conduct published by the NAEA propertymark to notify you that we will receive a referral fee. The fee for these services will vary depending on the transaction and intermediary may make to attract business.

Shortland Horne's Mortgage Advisor is Midland Financial Planning Limited, a partner practice of St. James's Place. For referring business to Midland Financial Planning Limited Shortland Horne will receive up to 50% of any commissions earned. You do not have to use the service of any of our providers and can choose to source the service from someone else. Any advice that is provided will be independent.

Location Map



EPC

		Current	Potential
Very energy efficient - lower running costs			
(92 plus)	A		
(81-91)	B		
(69-80)	C		
(55-68)	D		
(39-54)	E		
(21-38)	F		
(11-20)	G		
Not energy efficient - higher running costs			
England & Wales		EU Directive 2002/91/EC	EU Directive 2002/91/EC

		Current	Potential
Very environmentally friendly - lower CO ₂ emissions			
(92 plus)	A		
(81-91)	B		
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Not environmentally friendly - higher CO ₂ emissions			
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02476 222 123

sales@shortland-horne.co.uk

shortland-horne.co.uk

@ShortlandHorne

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